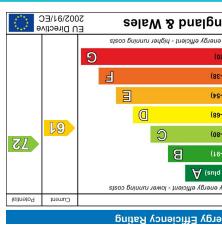
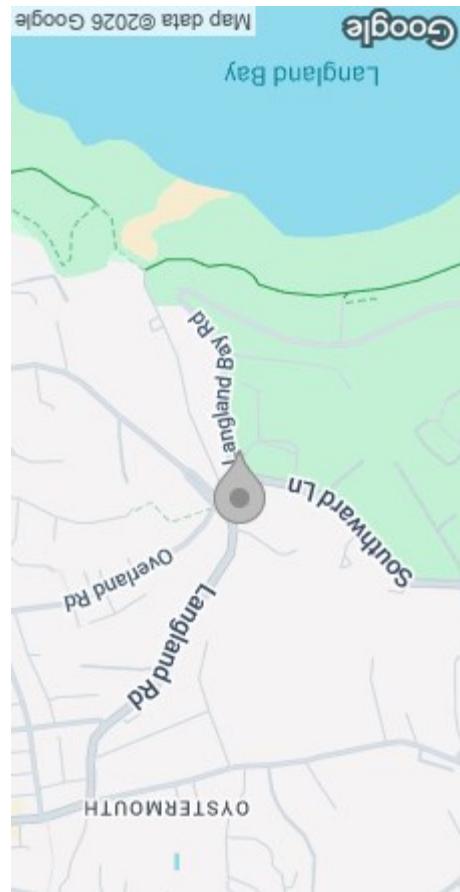




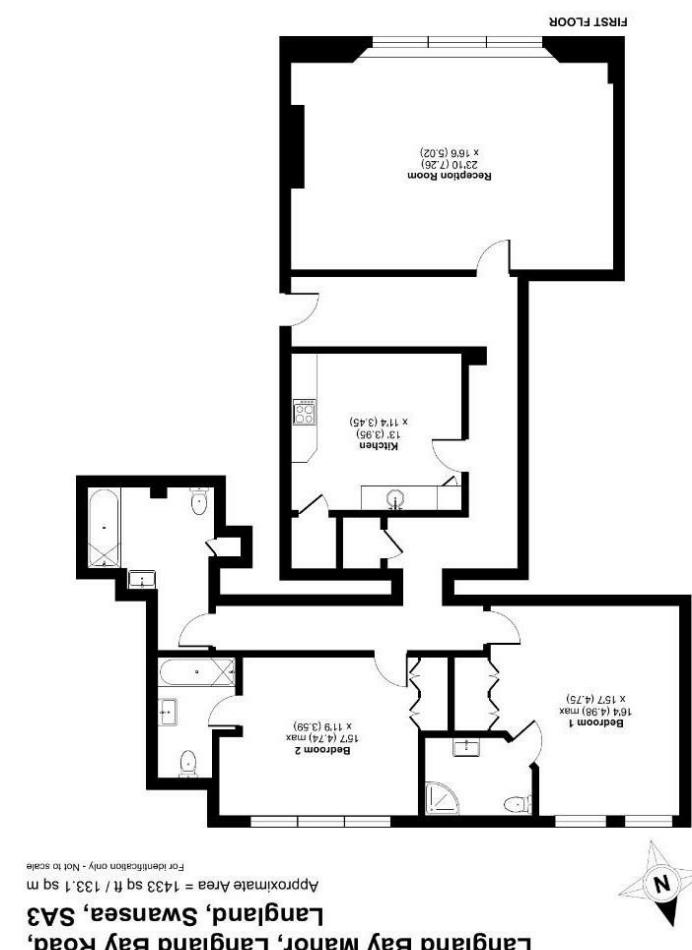
These particulars or representations of facts, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.



### EPC



### AREA MAP



Langland Bay Manor, Langland Bay Road, Langland, Swansea, SA3

### FLOOR PLAN



DAWSONS

## 2 Langland Bay Manor Langland Bay Road

Langland, Swansea, SA3 4QH

Asking Price £399,950



DAWSONS  
ALL THINGS PROPERTY

## GENERAL INFORMATION

Situated within the iconic Grade II listed Langland Bay Manor, this beautifully presented ground floor apartment offers a rare opportunity to live in one of Swansea's most sought-after coastal locations. Just a stone's throw from the breathtaking Langland Bay, renowned clifftop walks, and a short distance from the vibrant village of Mumbles, this property combines period charm with modern comfort and convenience.

The apartment comprises a welcoming entrance hall leading to a spacious and light-filled open-plan lounge and dining area, ideal for both relaxing and entertaining. A well-appointed fitted kitchen adds practicality to the elegant living space.

There are two generously sized bedrooms, each benefiting from its own ensuite bathroom, providing privacy and luxury. A further main bathroom serves guests and adds to the overall functionality of the home.

Externally, the property is set within beautifully maintained communal gardens, perfect for enjoying the serene surroundings. The apartment also benefits from a dedicated parking space, a valuable asset in this prestigious location.

This exceptional home offers the perfect blend of historic grandeur, coastal beauty, and modern living—early viewing is highly recommended.

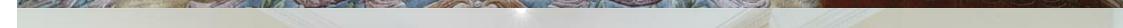
## FULL DESCRIPTION

### Entrance Hall



### Lounge/Dining Area

23'10" x 16'6" (7.26m x 5.03m)



### Kitchen

13'0" x 11'4" (3.96m x 3.45m)



### Bedroom One

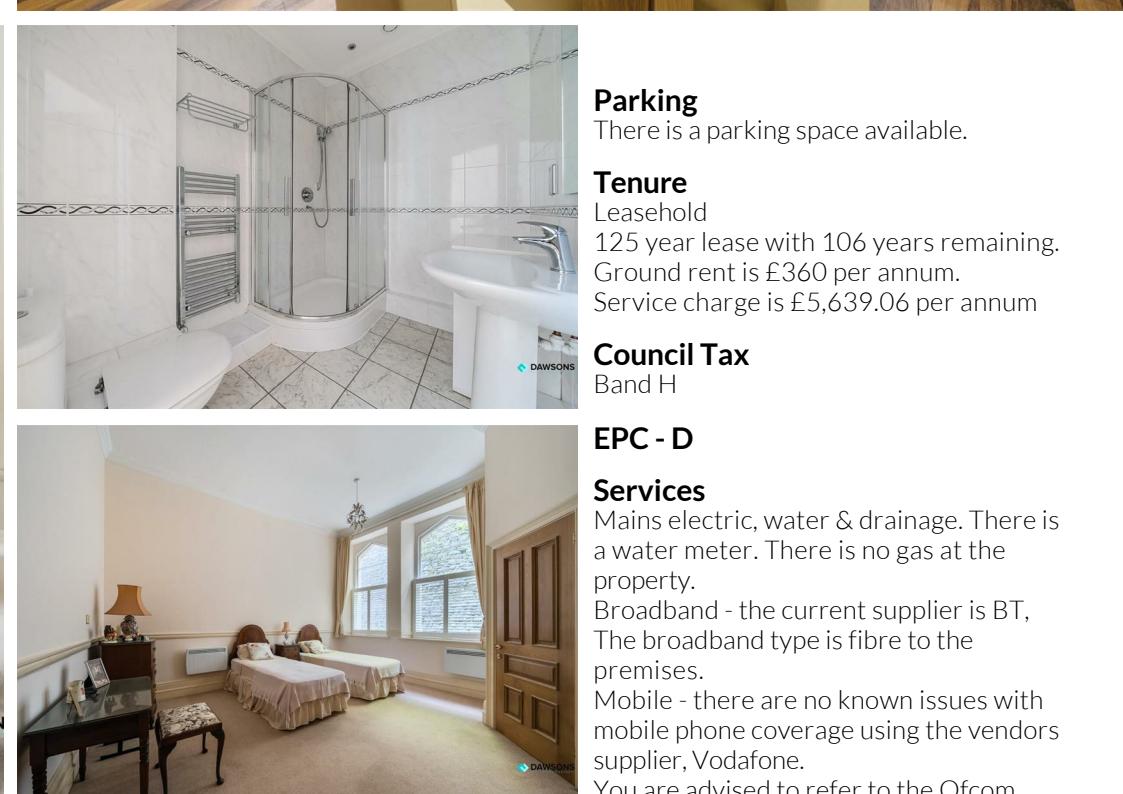
16'4" x 15'7" (4.98m x 4.75m)



### Ensuite Shower Room

### Bedroom Two

15'7" x 11'9" (4.75m x 3.58m)



### Ensuite Bathroom

### Bathroom

### Externally

Well maintained communal gardens,



### Parking

There is a parking space available.

### Tenure

Leasehold

125 year lease with 106 years remaining.  
Ground rent is £360 per annum.  
Service charge is £5,639.06 per annum

### Council Tax

Band H

### EPC - D

### Services

Mains electric, water & drainage. There is a water meter. There is no gas at the property.

Broadband - the current supplier is BT, The broadband type is fibre to the premises.

Mobile - there are no known issues with mobile phone coverage using the vendors supplier, Vodafone.

You are advised to refer to the Ofcom checker for information regarding mobile signal and broadband coverage.

